

Yellowhead Highway 16



NEIGHBOURHOOD CONCEPT PLAN

summerwoodsherwoodpark.com

This is prepared as a conceptual plan only and all elements are subject to change without notification and should not be relied upon. Future road alignments are subject to change. Future residential may include low density residential and/or medium density residential. Please contact Strathcona County for current information.

June 23, 2022



WE CREATE WHAT WE BELIEVE IN



Preliminary Plan

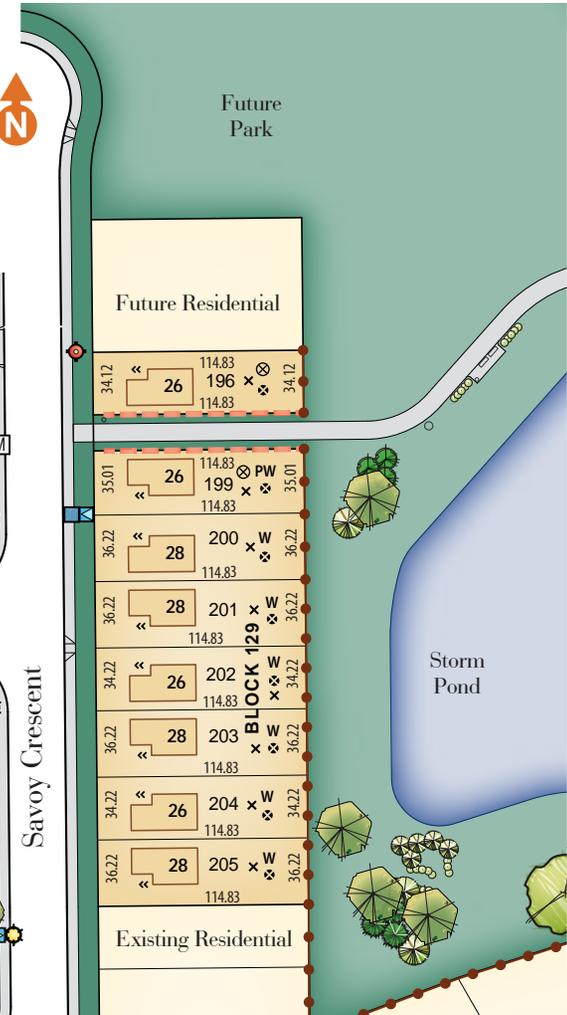
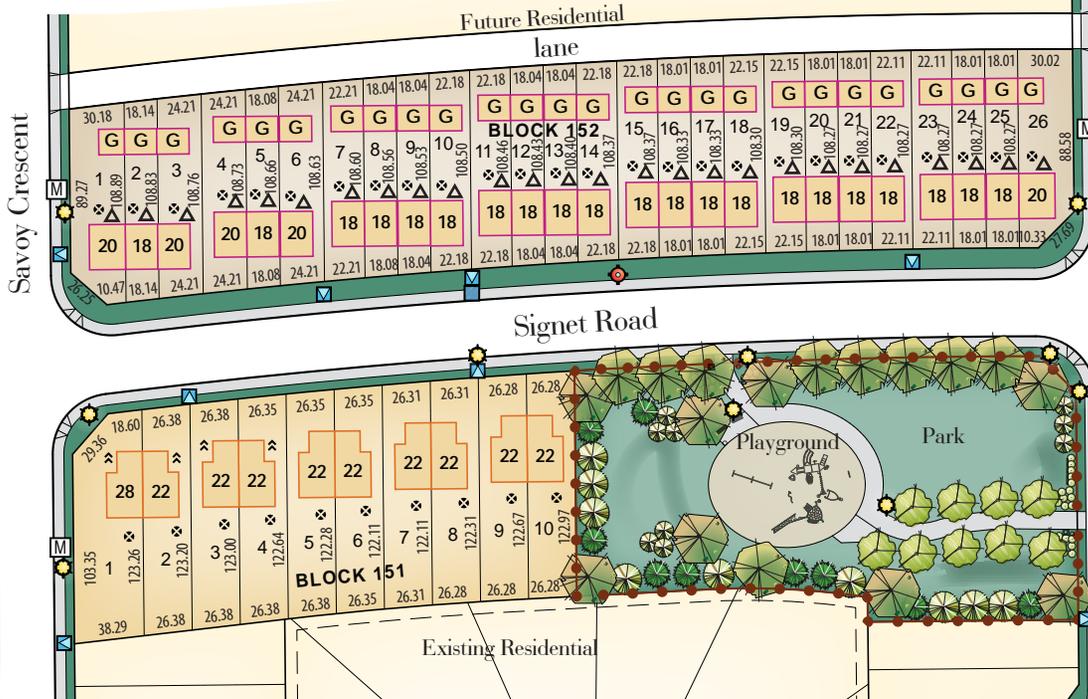
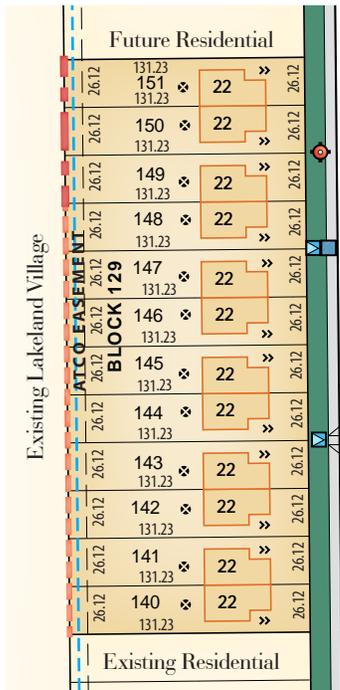
PHASE 4 NORTH

Legend

- Light Standard
- Service Pedestal
- Transformer
- Fire Hydrant
- Mailbox
- Possible Footing on Engineered Fill
- Disturbed Soil Restrictive Covenant
- W/PW** Walkout/Partial Walkout Lot
- Freeboard Restrictive Covenant/Minimum Opening Elevation (680.5m)
- Roof Leaders to Front of Lot
- Roof Leaders (of Accessory Buildings/Garage) to Back of Lot
- Tree Locations (Subject to change)
- Concrete Swale (in ATCO gas easement)
- Chain Link Fence
- Wood Screen Fence
- Noise Attenuation Fence
- 26 Single detached home with front garage, driveway locations and suggested house width in feet.
- 22 22 Duplex style homes with driveway locations and suggested house width in feet
- 18 18 18 Townhome with suggested house width in feet. Detached garage.
- G Rear detached garage location (at purchasers cost).

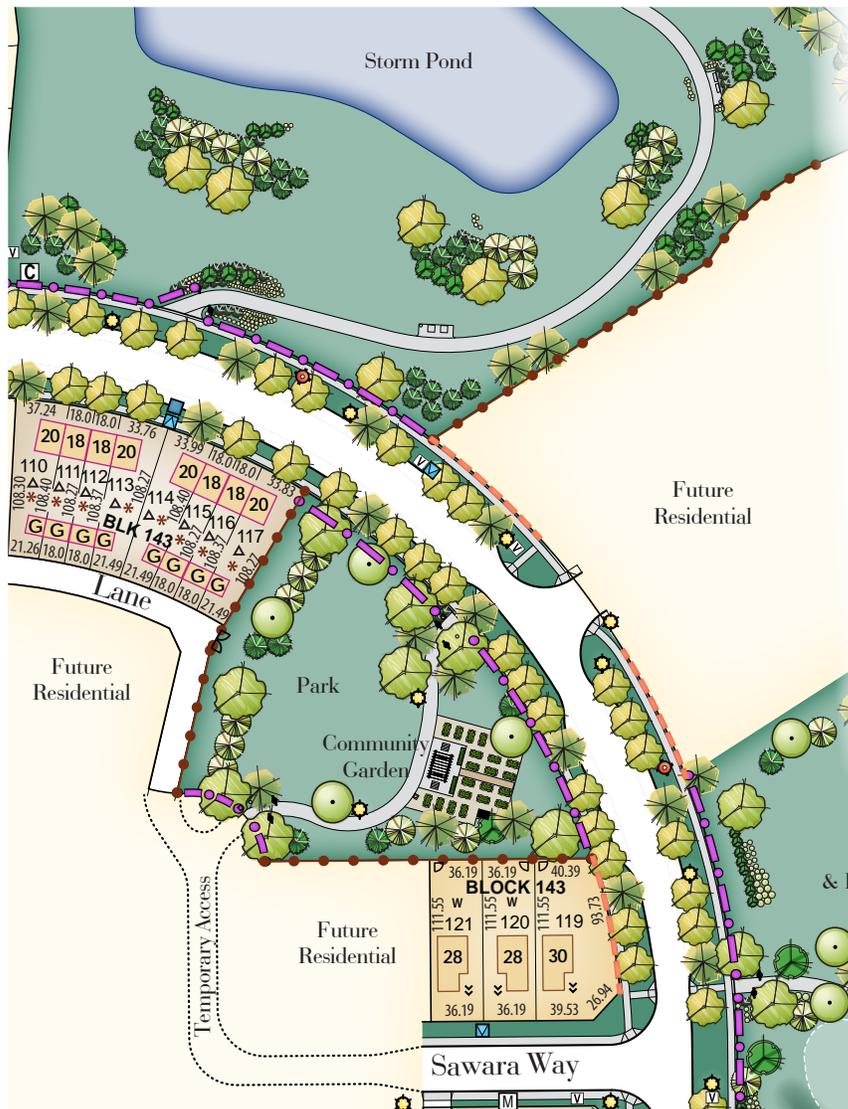
NOTES:

1. All information shown on this plan is deemed accurate to the date shown. Landscape shown as conceptual only.
2. Location of street furniture and shallow utilities subject to change. Qualico will not relocate conflicts.
3. Bungalows and 2 Storey require window wells.
4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 4.0 metre Utility Right of Way is located in front all lots.
7. Sump Pump connections required by builders on all lots.
8. Private to private Easement and Cross Lot Drainage Restrictive Covenant on lots 1 thru 26, block 152
9. Freeboard Restrictive Covenant on lots 196 thru 205, block 129.



Preliminary Plan

PHASE 5A NORTH

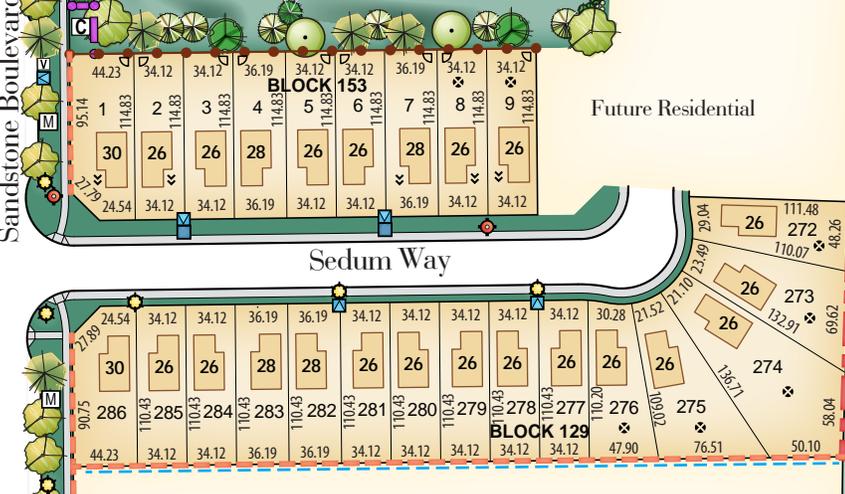
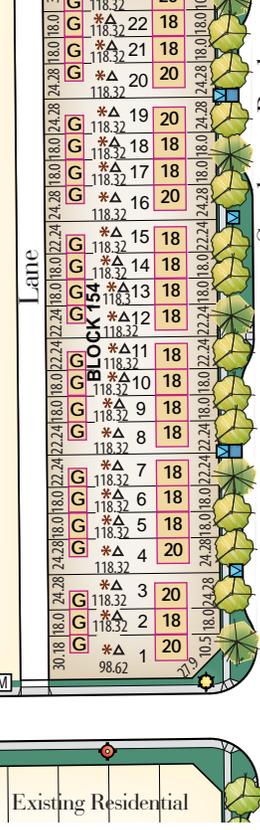


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4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 4.0 metre Utility Right of Way is located in front all lots.
7. A 2.0 metre Utility Right of Way is located on side yards of lots flanking a road.
8. Sump Pump connections required by builders on all lots.

Legend

-  Light Standard
-  Service Pedestal
-  Transformer
-  Fire Hydrant
-  Mailbox
-  Telus Vault
-  Switching Cubicle
-  Possible Footing on Engineered Fill
-  Roof Leaders to Front of Lot
-  Roof Leaders (of Accessory Buildings/Garage) to Back of Lot
-  Cross Lot Drainage Restrictive Covenant
-  Walkout Lot
-  Single detached home with front garage, driveway locations and suggested house width in feet.
-  Townhome with suggested house width in feet. Detached garage.
-  Rear detached garage location (at purchasers cost).
-  Drainage Swale
-  Noise Attenuation Fence
-  Wood Screen Fence
-  Chain Link Fence (w/ gates)
-  Post & Rail Fence
-  Tree Locations (Subject to change)



Future Development (Land Owned by Others)

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April 27, 2021

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Preliminary Plan
PHASE 5B NORTH



Legend

-  Light Standard
-  Service Pedestal
-  Transformer
-  Fire Hydrant
-  Mailbox
-  Telus Vault
-  Switching Cubicle
-  Possible Footing on Engineered Fill
-  Roof Leaders to Front of Lot
-  1.5 m Zero Lot Line Maintenance/Drainage Easement
-  Freeboard Restrictive Covenant
-  W/PW Walkout/Partial Walkout Lot
-  **28** Single detached home with front garage, driveway locations and suggested house width in feet.
-  **24** Zero Lot Line Single Family Home with front driveway location & house width in feet
-  --- Noise Attenuation Fence and Restrictive Covenant on Rear Yard Development
-  - - - Wood Screen Fence
-  ●-● Chain Link Fence (w/ gates)
-  ○-○ Post & Rail Fence
-   Tree Locations (Subject to change)

NOTES:

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3. Bungalows and 2 Storey require window wells.
4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 4.0 metre Utility Right of Way is located in front all lots.
7. A 2.0 metre Utility Right of Way is located on side yards of lots flanking a road.
8. Sump Pump connections required by builders on all lots.
9. A 1.5 metre Zero Lot Line Maintenance/ Drainage Easement is located on lots 242 - 271 block 129.
10. Restrictive covenant on lots 241 - 271 block 129 for rear yard developments near slopes.

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April 27, 2021

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Preliminary Plan
PHASE 6A NORTH



- NOTES:**
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 3. Bungalows and 2 Storey require window wells.
 4. Surveyors - Building pocket supersedes marketing map.
 5. Retaining walls, if required, installed at purchaser's cost.
 6. A 4.0 metre Utility Right of Way is located in front all lots.
 7. A 2.0 metre Utility Right of Way is located on side yards of lots flanking a road.
 8. Sump Pump connections required by builders on all lots.
 9. A 1.5 metre Zero Lot Line Maintenance/ Drainage Easement is located on lots 121 - 124 block 131, lots 20 - 41 block 149 and lots 24 - 42 block 154.

Legend

	Fire Hydrant		Light Standard
	Mailbox		Service Pedestal
	Telus Vault		Transformer
	Possible Footing on Engineered Fill		
	Roof Leaders to Front of Lot		
	1.5 m Zero Lot Line Maintenance/Drainage Easement		
	W/PW Walkout/Partial Walkout Lot		
	House 26: Single detached home with front garage, driveway locations and suggested house width in feet.		
	House 24: Zero Lot Line Single Family Home with front driveway location & house width in feet		
	House 20: Zero Lot Line Single Family Home with rear lane & house width in feet		
	House G: Rear detached garage location (at purchasers cost).		
	Wood Screen Fence		
	Chain Link Fence (w/ gates)		
	Post & Rail Fence		
	Tree Locations (Subject to change)		

Preliminary Plan
PHASE 6B NORTH



Legend

- Light Standard
- Service Pedestal
- Transformer
- Fire Hydrant
- Mailbox
- Telus Vault
- Possible Footing on Engineered Fill
- Roof Leaders to Front of Lot
- Roof Leaders Front of Lot if Feasible
- 1.5 m Zero Lot Line Maintenance/Drainage Easement
- 26 Single detached home with front garage, driveway locations and suggested house width in feet.
- 20 Zero Lot Line Single Family Home with rear lane & house width in feet
- G Rear detached garage location (at purchaser's cost).
- Concrete Swale (in Easement)
- Wood Screen Fence
- Chain Link Fence (w/ gates)
- Post & Rail Fence
- Tree Locations (Subject to change)

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3. Bungalows and 2 Storey require window wells.
4. Surveyors - Building pocket supersedes marketing map.
5. Retaining walls, if required, installed at purchaser's cost.
6. A 4.0 metre Utility Right of Way is located in front all lots.
7. A 2.0 metre Utility Right of Way is located on side yards of lots flanking a road.
8. Sump Pump connections required by builders on all lots.
9. A 1.5 metre Zero Lot Line Maintenance/ Drainage Easement is located on lots 112 - 120 block 131.

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May 16, 2022

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