



GREYSTONE

ARCHITECTURAL DESIGN GUIDELINES (R-1 & R-2)



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INTRODUCTION

Greystone's position near the center of the Town of Cochrane exudes the warmth and character of small-town living, while delivering convenience, connectivity, and interaction that a modern family desires. The spirit of this community is prevailing and its longevity - past, present, and future - is undeniable.

Living in Greystone means building strong relationships with your family, your neighbours, and the nature that surrounds you. You can reflect on the rich history and surrounding natural appeal, while connecting your own passions for an active and vibrant way-of-life in a modern and enduring new live-work-play development.

So many new and established resources and new opportunities await. From exciting employment endeavours to adventures right in your backyard, Greystone provides a diverse selection of residential and commercial development types - all coming together to build the future of this fast-growing town, ideally positioned less than 20 minutes to Calgary and 30 minutes to the majestic Rocky Mountains.

Distinctive architectural guidelines offer revitalized versions of three streamlined architectural styles: Modern Craftsman, Contemporary Farmhouse and Western Prairie.



1.0 ARCHITECTURAL GUIDELINES

The Architectural Guidelines are prepared to promote a high level of architectural detail, ensure appropriate building form, and to certify awareness of community sustainability.

Builders and designers are to use these Architectural Guidelines when planning their new home builds in Greystone. The Architectural Guidelines have been written in a definitive manner with multiple examples to allow both creativity and market differentiation while respecting continuity in home designs throughout the community.

2.0 GENERAL

The Architectural Agent completes a review of all house plans to ensure compliance with the Architectural Guidelines. An “Approved” stamp is provided by the Architectural Agent on the elevation drawings and site plan upon final approval. The builder must bring the approved stamped plans when submitting for a development permit and building permit at the Town of Cochrane.

All construction must comply with the current Town of Cochrane Land Use Bylaw and Alberta Building Code. Construction may only begin upon receipt of a Building Permit from the Town of Cochrane and a Grade Slip from the Architectural Agent which is prepared by the Consulting Engineer. Conformity with the Guidelines does not supersede the required Town of Cochrane approval process.

3.0 LAND USE AND ZONING REGULATIONS

Due to the variety of land use and zoning requirements in the Greystone area, all builders are to ensure familiarity with the appropriate requirements and stipulations of the Town of Cochrane.

4.0 SITE PLANNING

4.1 House Siting

Greystone home builders and their design teams are to choose home styles and designs based on the grading and site topography to take full advantage of views and to maximize lot space. Designers should take into consideration the lot width, length, and shape, as houses should be conforming to these dimensions.

Homes in Greystone will be sited to create variety and homes with greater massing will have increased front setbacks. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot. Front setbacks will be varied to provide interest in the streetscape and to compliment massing of individual homes.

*Please see **Lot Codes and Special Requirements** in Schedule A for building pocket sizes.*

4.2 Unusual Shaped or Pie-lots

The Architectural Agent will review the siting of all houses, ensuring the siting of houses on pie lots are acceptable to the streetscape and compatible with adjacent houses. Builders are encouraged to choose house plans that can be centered on these lots with the greatest exposed frontage to the street. The same side yard setback requirements apply to unusual shaped or pie-lots.

4.3 Lot Grading

Lot grading must follow the Town of Cochrane's Lot Grading Bylaws. Lot grading must follow the natural slope of the land and is to be consistent with the subdivision grading plan. Builders should give due consideration to building grades when determining house types to assure an appropriate house is located on each homesite. Lot slopes should be absorbed within the building massing as much as possible.

Drainage patterns created on the home sites to ensure surface water is channeled away from the house on all sides and into adjacent drainage swales.

- All the corner and intermediate elevations, as established by the development engineer, be maintained exactly as specified
- Front and rear yard slopes may not exceed 25%
- Side yard slopes are to stay within a 2%-32% range
- The lot grades create a drainage pattern, as indicated on the "grade plan", and must be maintained
- Site drainage must be established prior to commencing construction and maintained by the builder throughout the construction period
- Rear yards require a minimum 2% grade
- A retaining wall may not be used to artificially raise or lower the suggested grades on any lot

5.0 GENERAL REQUIREMENTS

5.1 House Sizes

Houses are to have a consistency of mass and volume within the streetscape. As such, house width and size must relate proportionately and logically to the lot width and neighboring homes.

Minimum exposed house frontage will be established as per the **Lot Codes and Special Requirements** in Schedule A.

- High visibility lots must maximize the rear elevation to the equivalent of the front elevation (i.e., a 26' wide front elevation should have equivalent 26' wide rear elevation)

- Pie shaped lots will be reviewed on a lot-by-lot basis if an exception is required.

This design guide allows for homes to be built more than the minimum requirements noted above. However, the minimums provide the opportunity for variations in size which, when combined with landscaping considerations, will contribute to the ultimate character of the neighborhood. Homes will be reviewed on their merits of design, massing, proportion, and compatibility. Exceptional plans which meet the general trend of the neighborhood but fall short of the minimum house width may be considered at the sole discretion of the Architectural Agent.

5.2 Building Forms and Massing

5.2.1 Single Family and Semi-Detached Homes

Single Family and Semi-Detached homes should reflect the characteristics of architectural style portrayed. Semi-Detached homes should be designed as buildings with one architectural style, as opposed to one style per unit.

- Repetition or mirroring of the same plan is to be differentiated in the exterior designs.
- Articulation of a minimum of 2' is required between attached units.

5.2.2 Garages

Some houses in Greystone require an attached front drive garage. This product should be designed to reflect and complement the overall massing and proportion of the home and not dominate the streetscape.

Columns on garage outside corners should be a min of 18" wide. When the distance between the porch landing and the front of the garage is greater than 10' a window will be required. The window will be detailed appropriately for the architectural style.

The garage location will be noted on the Building Grade Plan as well as the subdivision Marketing Plan and builders are to use the garage location as shown. If a side drive garage is chosen, the garage should stay on the same side of the lot that it was intended to be on, so it does not impede the view out of the front of neighboring homes. Garages will generally be paired with the neighboring homes unless noted otherwise on the marketing map.

Additional requirements for garages are:

- Wall finishes on the garage must echo the primary wall finishes of the house
- Design of the garage shall echo the house design
- The maximum distance between the top of the garage door and the underside of the eave is to be 24" (excluding trim from calculation)
 - Lowering the roofline, higher garage doors and/or additional detailing will be required when exceeding the maximum distance
- When lot size permits, garages may be offset to fill the lot width by a maximum of 2'
- Minimum garage width will be 19'.

5.2.3 Driveways and Parking Pads

Driveways shall be constructed with broom finished concrete as a minimum. The following details for driveways are minimum requirements:

- Desirable driveway slopes are between 3% and 7%
- Maximum driveway slope is 10%; minimum is 2%
- The driveway and the approach shall be constructed at the same time

- Gravel driveways/parking pads are prohibited
- Driveways must be the width of the garage but may taper to be narrower at the street
- Deviations may be approved based on the design being presented

6.0 ARCHITECTURAL DESIGN

Architectural themes and materials of the homes in Greystone at Cochrane will follow three streamlined design styles, as well as some general characteristics for all homes in the community.

6.1 General Characteristics

- Above average quality material selections – composite panel/plank, stone/masonry minimum requirements (based on style), aluminum, etc.
- Where possible, select materials considered sustainable, recycled/recyclable, etc.
- Materials that reflect an element of nature are encouraged: i.e., woodgrain siding, sky/water blue cladding, stone, exterior lighting (sunlight)
- Second floor development above the garage is required, must include variations in the wall plane and will be set back from the dominant plane of the garage a minimum of 4'. This rule notwithstanding, allowances for variances to this rule may be permitted on pre-approved elevations that meet the following requirements:
 - a) A minimum of 3 lots of separation between relaxations to this rule
 - b) Additional design considerations (increased material returns and/or detailing) at the discretion of the architectural coordinator

6.2 Architectural Styles

Greystone features revitalized versions of three streamlined architectural styles that have been curated in alignment with the western heritage theme throughout the Town of Cochrane: Craftsman, Farmhouse, and Prairie.

Greystone will welcome modern and classic renditions of three main architectural styles. Exterior designs are encouraged to encompass the form and massing of traditional architectural styles in traditional designs or infused with clean, neat modern detailing and features that will connect directly with the exteriors of the modern style homes.

6.2.1 Modern Craftsman

Craftsman style houses integrate the traditional features of low-pitched roofs with overhanging eaves, heavy, tapered columns, patterned windowpanes, and a covered front porch. Modern Craftsman exteriors will incorporate some or all of these features with a clean, neat aspect to them that emphasizes a modern, progressive style to the exterior.

Form and Massing

- Low-pitched rooflines (Min. 4/12)
- Wide eave overhangs (Min. 18")
- 1 1/2 storey elements
- Double hung windows

Materials and Colours

- Primary Wall – horizontal siding or shakes
- Secondary Wall – straight edge shakes, board and batten, composite panel, other materials with approval
- Masonry – base only

Details

- Roof dormers
- Large, battened porch supports
- Knee braces
- Simple trims



6.2.2 Contemporary Farmhouse

The Farmhouse evolved from the massing and form of a traditional steep pitched Craftsman style of architecture that has been updated with clean, modern features.

Form and Massing

- High pitched gable rooflines (Min. 8/12)
- Multiple gables
- Stacked floor plates
- Smaller eave overhangs (Max. 18")
- Large, segmented windows
- Repetitive window patterns
- Large covered front porch areas

Materials and Colours

- Primary Wall – horizontal siding or board and batten (vinyl or composite)
- Secondary Wall – board and batten, composite panel, other materials with approval
- Masonry – base only

Details

- Exposed rafters
- Smooth straight edge shingles
- Panel features
- Straight simple battens
- Decorative louvre or simple bracket detailing



6.2.3 Western Prairie

Prairie style houses integrate traditional horizontal lines and low slope hip roofs with large expanses of glass and clean modern detailing.

Form and Massing

- Low-pitched hipped rooflines (Min. 4/12)
- Wide eave overhangs (Min. 24")
- Two storey elements with one storey wings or porches
- Recessed entries
- Repetitive ribbon windows

Materials and Colours

- Primary Wall – horizontal siding
- Secondary Wall – alternate horizontal siding, composite panel, board and batten profile siding, metal wood-toned materials, other materials with approval
- Masonry – base only

Details

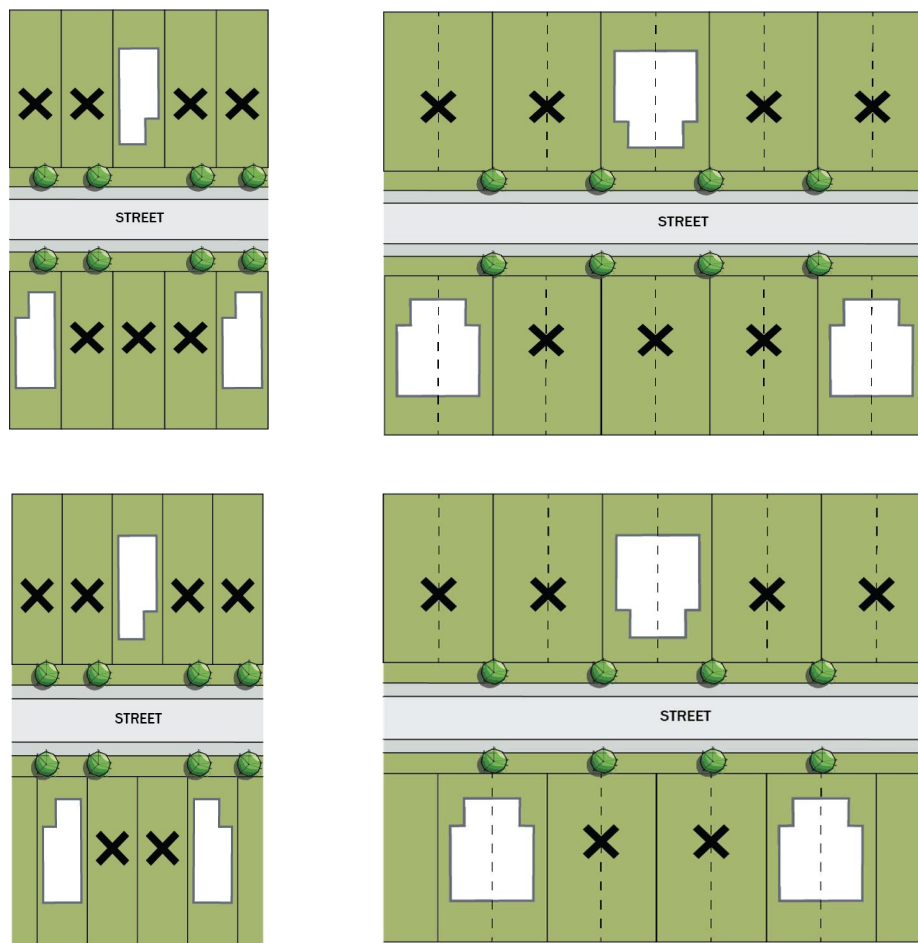
- Roof dormers
- Large square porch supports
- Simple trims
- Large heavy columns
- Large heavy angular braces
- Smooth masonry finish
- Horizontal elements
- Strong vertical wing walls
- Single storey wings or box-outs
- Contrasting wall material



6.3 Repetition

Three architectural styles have been chosen to allow enough variety for the consumer to pick the home of their choice in several different front elevations provided by the builders. Repetition of the architectural styles may be limited to ensure enough variation in the proposed streetscapes.

Identical or near identical elevations and exterior colours may not be repeated more often than every third (3rd) home on the same side of the street and every second (2nd) home on the opposite side of the street. This may be altered at the discretion of the Architectural Agent if it can be shown that the two elevations in question are not to be visible together from any angle. While similar house plans and elevations are inevitable, it is possible to vary the design by changing exterior elements. If it is felt that the adjacent houses are too similar the Architectural Agent will request the applicant to make design changes. There must be a significant change in features, such as roof type, size and location of windows and doors, colours, and finish materials. A change of materials alone and reversing the plan is not sufficient.



6.4 Exposed Elevations

An exposed elevation will be considered as any elevation that faces onto a street, park, green space, open space, pathway, municipal reserve, environmental reserve, amenity space, storm ponds, commercial developments, or apartment/condo buildings. Sales and design teams are asked to verify their lots to the marketing map for site furniture and possible exposed elevations.

6.5 Corner Lots

Corner lots require additional treatment to the street side elevations to the same extent as the front elevation. Rear elevations on corner lots flanking a street must have full treatment consistent to the front elevation. Sales and design teams must take this into account when working with home buyers as this will not be relaxed at any time. Corner lots must be well articulated with various architectural elements appropriate to the selected architectural style and extra attention must be paid to the massing and detailing of the porch.

Elements include box outs, chimneys to grade, additional windows, detailed trims to match front elevation, shadow bands, belly boards, corner boards, rooflines, gables with secondary materials, porch or verandas that wrap around from the front of the house. Decks will be required on rear elevation.

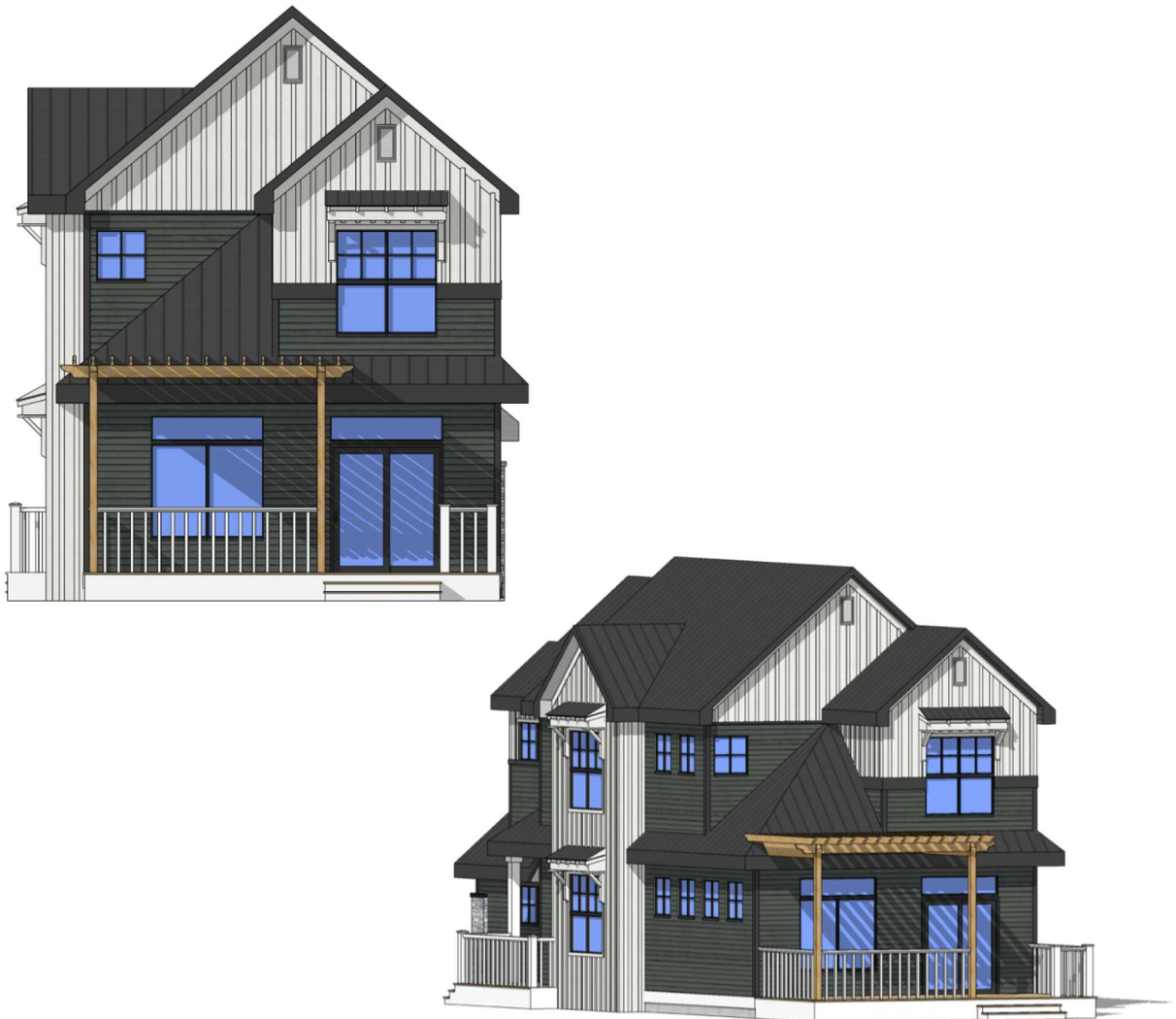
When a two-storey home is proposed on a corner lot extra attention will have to be paid to the bonus room above the garage. Full height chimneys or other changes in massing on exposed elevations will be required.



6.6 Rear Elevations

Houses that have an exposed rear elevation in Greystone will require a rear elevation that is designed to the same extent as the front elevation. Builders are to ensure these rear elevations are consistent with the front elevation. Decks must be built at the initial time of construction and must be shown on the building plans. Rear decks will not be required where 6'-0" screen fencing will obscure the deck from view.

Clear three-storey elevations and large exposed flat walls will not be permitted. There needs to be articulation in the wall heights to help ground the building. Designers will be required to articulate rear elevations on walkouts to reduce the massing, which can be accomplished by staggering the upper floor or by adding different roof elements between the main and upper floor using secondary materials that complement the front elevation.



6.7 Exterior Decks

Walkout homes if visible from the street will require a deck that must be on the plans and built at the initial time of construction. At minimum, walkout decks will require:

- Supporting columns are to be built out to 12" x 12" extending from grade to the underside of deck
- Cap and base of the columns must be architecturally detailed and built out
- Underside of deck must be finished with aluminum, wood, or a composite soffit
- The main beam and rim joist must be clad in smartboard or an approved equivalent

Decks that are on an exposed elevation will require a minimum 12" x 12" built out columns extending from grade to underside of the deck. These columns are to be consistent with the front elevation. The columns base is to be at least four feet in height. All deck stairs vertical surfaces (stringers, risers) shall be painted to match the home. Stair treads may be pressure treated wood, left unfinished.

Decks that are less than four feet above grade must be skirted in smartboard or an approved equivalent with a trim detail. Relaxations may be granted on non-exposed elevations on lots with privacy fencing. Lattice is not permitted as a skirting material.

6.8 Sidewalks

- All sidewalks are to be poured broom finish concrete at minimum
- Sidewalks for homes with driveways to be poured concurrent with the driveway
- Sidewalks must be a minimum of four feet in width

6.9 Retaining Walls

Where retaining walls are required, it is recommended that they are constructed using natural materials (i.e., sandstone boulders, rundle rock or river rock (mortar)).

Retaining walls not constructed from natural materials should be constructed with a visually aesthetic material (i.e., decorative concrete, or concrete with a stone or brick facing). Concrete wing walls will be acceptable when not visible from the street, but they require Architectural Design Approval.

Retaining walls will be limited to a height of four feet (1.22 meters). All retaining structures must be within property lines. Any retaining wall exceeding 1.00 meter in height MUST be approved by a professional engineer and may require a development permit.

Sunshine basements and walkouts are permitted where the lot grade permits. These may not be forced with the use of added risers at the front of the home. The front step

may have up to 5 risers and up to 2 more risers may be added to the front walk, for a total of 7 risers.

6.10 Main Entry

The main entrance of the home should create a welcoming environment and be a prominent feature on the façade of the home. Ensuring that front entrances present themselves to the street in some manner is a critical aspect of a home's design. Some elements to consider when designing the front entry are:

- The entrance design should represent the architectural style and be properly proportioned to the overall massing of the home
- Front porches are encouraged wherever suited to the architectural style of the home
- Modern style exteriors are encouraged to incorporate stylized porches finished in smooth or exposed aggregate concrete with metal, glass or no railings
- Front porches and all front entrances must feature solid risers on the stairs leading to them and must be finished and stained or painted to match the approved colour scheme of the home
- The bases of all porches are to be finished in solid material and must not include lattice panels
- Precast concrete steps are acceptable when designed as an integral element of the exterior
- The front door design is to suit the architectural style of the home
- All columns must be a minimum size of 12" x 12" unless well suited to the style and appear to have structural integrity

6.11 Windows

Window style should demonstrate a consistent design that enhances the overall architecture of the house.

- Exposed elevation windows shall be of significant size and demonstrate adequate detailing appropriate for the overall composition of the front elevation
- Adequate window detailing such as window shutters, composite architectural trim, etc. are required on all exposed elevations
- Window and door trims may be replaced by slender modern trims and flashings at the discretion of the Architectural Agent

7.0 WALL MATERIALS

Vinyl siding in a premium dark colour will be the preferred standard in Greystone. Light coloured vinyl siding in a traditional profile may be permitted as the primary wall material providing there is:

- A significant amount of secondary material and additional detailing on all exposed elevations, OR
- The entire front elevation is completed in upgraded composite siding (Hardie Board or approved equivalent)
- White vinyl siding may be permitted on the Farmhouse style homes provided that black window frames are used. These homes will be approved at the discretion of the Architectural Agent

Any alternate exterior cladding materials need to be submitted for review to the Architectural Agent.

7.1 Secondary Wall Materials

Secondary wall materials and colours are required on the front and exposed side and rear elevations of every home and may consist of board and batten, composite panel, straight edge vinyl or composite shakes, metal wood-toned products, and other materials as requested. All gable ends on exposed elevations will require a secondary wall material. Horizontal siding will not be approved.

7.2 Masonry

All masonry returns must be a minimum of 2' - 0". The end of the return will need to be finished with trim that sits proud.

Approved masonry products are:

- Brick
- Manufactured or natural stone with ashlar or structured courses
 - Paneled systems with obvious repeat patterns will not be accepted and will requested to be removed if found installed

Masonry is to be finished within 2" of grade. The builder is recommended to follow manufacturer's best practices for installation near grade, which may include a partial mix or full thinset adhesive.

Designs with no masonry base may be accepted at the discretion of the Architectural Agent. These homes will require extensive detailing, application of secondary materials as a base alternative and trim elements.

7.3 Trim, Fascia and Soffits

- Trim must sit proud of the wall material they are designed within
- When trim is used on a stone wall, the trim must be built out at least ½" proud of the stone
- Rainwear must be limited on exposed elevations. Downspouts should take place on side and rear elevations of homes only
- Eavestrough colours are to match the fascia colour

- Fascia must be a minimum of 8" in height and is to be constructed with smartboard (or approved alternative) for any open gables, or fascia not concealed by eavestrough on exposed elevations and all other fascia may be 6" in height and finished in aluminum

7.5 Roofing

The roof material for all homes is to be premium architectural asphalt shingles such as IKO Cambridge, GAF Timberline, BP Mystique or an approved alternative. Composite products such as Gem, Endur, and concrete tile in the slate profile will also be permitted. Other equivalents may be approved at the Architectural Agents' discretion. No wood shakes will be allowed. All roof stacks must be enclosed and/or finished to compliment the roof colour and exterior finish detail.

- Black will be the only approved roofing colour
- Rainwater leaders and soffits shall match or compliment the approved trim colour
- All roof hardware (vents, stacks, flashing, etc.) must be painted to match the colour of the roofing material - unfinished galvanized flashing will not be permitted

7.8 Railing

Railing will be required as per the Alberta Building Code. Front porches and rear decks should have railings in a style to match the architectural theme. Depending on architectural style, acceptable railing materials include:

- Aluminum
- Wrought Iron
- Glass Panel

7.9 Exterior House Numbers

Large modern exterior house numbers with a minimum height of 5" will be required in Greystone.



7.10 Exterior Lighting

A minimum of three recessed lights are required for the exterior lighting of the garage and front entry. Lighting of upper masses is also encouraged. All light fixtures shall complement the architectural style of the home. Flood lights will not be permitted.



7.11 Exterior Colours

Colours on the exterior of the home need to be consistent with the architectural theme of the home. The Architectural Agent must approve all exterior colour schemes. Colours should complement and enhance the ambiance of the community. Front doors are required to be painted or stained in an interesting, compatible contrasting colour. White front doors will not be permitted. Garage doors must be painted to match the house colour or the predominant accent / trim colour.

7.12 Parging

All high exposure elevations are to have minimal exposed parging and adhere to the maximum of 12" on exposed elevations and maximum 24" on any other elevation.

8.0 ADDITIONAL REQUIREMENTS

Nothing herein contained shall be construed or implied as imposing on the Developer, its agents or employees, any liability in the event of non-compliance with or non-fulfillment of any of the terms, restrictions and benefits set forth herein, and no liability or responsibility whatsoever shall be incurred by the Developer, its agents, or employees, in the performance or non-performance of their rights and obligations herein.

8.1 Environmental Initiatives

The Developer encourages green building practices and environmental initiatives in Greystone. In addition to the requirements of The Town of Cochrane Land Use Bylaw, the following requirements apply:

- Rain barrels are encouraged, provided they are located on the sides of the homes only - all rain barrels should be of an earth tone colour
- Drainage from roof downspouts shall discharge on soft landscaping and not on hard impervious surface
- Solar collectors are encouraged and may be black in colour only
- Compost bins will only be permitted in rear or side yards
 - For homes that back onto open space, compost bins will only be permitted inside yards
 - Compost bins are to be made from prefinished materials, not unfinished wood All compost bins will require a gravel base or concrete pad, so they are not resting directly on the lawn area

- Electricity generation using small wind turbines is not permitted unless approved by the Architectural Agent or the Developer
- Greenhouses will be permitted provided they are professionally designed and built, and the plans must be approved by the Architectural Agent or the Developer

8.2 Satellite Dishes

- Satellite dishes are allowed provided the dish size does not exceed 24" inches in diameter and the location of the dish is concealed to minimize visual impact
- Notwithstanding the above, the Architectural Agent reserves the right to reject any installation if deemed inappropriate

8.3 Air Conditioning Units

Central air conditioning or other mechanical hardware must be located where they are not visible from the street and should be screened when possible.

8.4 Recreation and Commercial Vehicles/Equipment

Recreational vehicles and commercial vehicles shall not be parked in front of a home for any reason other than loading and unloading. When RVs are parked on site they must be parked on the side of the home and be properly screened from the street. Wood screen fence is an acceptable screening mechanism but may only be used alongside the house. RV parking will not be permitted within any rear yard.

9.0 APPROVAL PROCESS

The following process will be followed for submissions for architectural approval in Greystone:

9.1 Review

The Builder shall review all lot information, marketing material and the Guidelines prior to choosing a lot.

9.2 Submission Process

All submissions for architectural approval will be submitted online through Streetscape. Access to Streetscape is available by invitation only and every user on the system must belong to a Group. There are several types of Groups on Streetscape, each with their own special set of features and view of information. Some types of Groups include:

- Builder
- Developer
- Consultant

If your Group is already setup, then you are ready to Request Access. If you don't yet have a Group – then you can contact us directly to have one setup and request an orientation JumpStart.

For further information on how to submit for architectural approval, please contact E2 + Associates by email at support@e2.associates.

9.3 Preliminary Approvals

The developer strongly recommends that preliminary approval submissions be made for each lot to avoid the unnecessary expense of revising drawings and/or client disappointment.

The Builder must submit the following to the Architectural Agent for a preliminary review:

- Floor plans - sketches or existing drawings that include all exterior dimensions
- Front elevation and all exposed elevations - in the case of corner lots or lots exposed to open spaces.
- Material and colour selections if customer preference is already known

This information will be reviewed and returned along with design comments, suggested revisions, material and colour comments and siting requirements.

The Builder is to fully review all preliminary information supplied and make all necessary changes to the drawings and final submission information prior to proceeding with final approval.

9.4 Site Check

The Builder is responsible for checking the site itself, legal plan of survey, plot plan and title to the Lands for locations of:

- Light standards
- Bus zones
- Fire hydrants
- Utility right of ways or easements for drainage
- Catch basins
- Transformer boxes or utility pull boxes
- Restrictive covenants
- Super mailboxes

Other items which may affect the house design, impact it's siting or the size or location of the driveway and report all problems to the Architectural Agent in writing.

9.5 Final Approval

The Builder shall submit online the following to the Architectural Agent for final approval:

Professionally drawn working drawings in pdf format:

- Floor plans
- Foundation plans
- Cross sections - complete with all dimensions from subfloors to footings and subfloors to front and rear grades
- Four elevations - complete with all exterior materials clearly noted
- Plot Plan complete with proposed grades
- Final Approval Form - completed with materials and colours

NOTE: Upon return of "the Architectural Approval" the Builder is responsible for checking all information including the approved plans, plot plans, grades and final approval form and contacting the Architectural Agent with any concerns or discrepancies.

9.6 Revisions

The Builder shall contact the Architectural Agent through Streetscape and obtain written approval for any revisions to the architectural approval before the revisions are applied. Charges for revisions after Final Approval are subject to a \$125 fee charged to the builder.

9.7 Surveyor Stakeout

When the approved plans are finalized and approved by the Architectural Agent, the Builder may precede to stakeout the property. A footing grade check is required, and an electronic request is made to the developer via Streetscape.

9.8 Return of Deposits

Return of the Architectural deposit will be released to the builder upon satisfactory completion of the house as per the architectural approval. To initiate an architectural inspection and return of the deposit, the following must be completed:

9.8.1 Photo Inspections

Photo inspections requests can be made through Streetscape once the:

- Construction and exterior are complete in accordance with these guidelines AND as per the house plan approval
- Final grading completed
- Final grading certificates and approved grading inspection report

Request photo inspection via Streetscape and upload required photos and information

- Clear color photos of relevant elevations *Date and Indicate Lot, Block and Phase in all file names
- Two front on interior lots (one must clearly show front door)
- Two front plus flankage on corner lots (one must clearly show front door)
- Two front plus rear on lots backing onto ponds, parks, walks, etc. (one must clearly show front door)

- The request must include the final grade certificate
- Acknowledgement Form sent to E2 + Associates
- Re-inspections will be subject to a \$125 fee billed directly to the builder

Once the final inspection is complete, a report will be sent to the Developer. The Builder will be notified of any architectural deficiencies and will be given a time frame in which to correct the deficiencies.

9.8.2 Engineering Inspections

Engineering inspections can be requested via Streetscape once the following is complete:

- Construction and exterior are complete in accordance with these guidelines AND as per the house plan approval
- Final grading completed
- Final grading certificates and approved grading inspection report
- Water valve exposed and marked
- Sidewalks, street, gutter, and curbs in clean condition
- The request must include the final grade certificate
- Acknowledgement Form submitted via Streetscape

10.0 CONSTRUCTION REGULATIONS

10.1 Material and Equipment Storage

- Builders will be allowed to store their materials and equipment on site during construction but may not store on adjacent or any other home sites
- Items stored must be stored in an organized manor and must be covered to ensure site cleanliness
- Builders must ensure that they do not trespass or disturb any other properties
- Cleaning of paint, solvents, stains, etc. will not be permitted on site
- Concrete trucks may not clean chutes anywhere on site

10.2 Use of Site

- Construction debris and waste must be contained on site each day and removed at the end of the project
- Debris may not be burned, dumped, or buried anywhere on site at any time
- Site damage (curbs, site furniture, sidewalks, roadways, vegetation) will be the charged to the responsible Builder
- Should a site not be maintained as per these guidelines, the Developer reserves the right to rectify any deficiencies at the cost of the responsible Builder
- The builder shall take all necessary measures to prevent the tracking of sediment and mud onto the public right-of-way - the builder is required to clean any sediment and mud on the right-of-way in front of their lot

10.3 Vehicles and Parking

Utility trailers, etc. may be parked on site only during the time of construction. These are parked at the risk of the builder.

10.4 Other Notes

- Vegetation material, topsoil, or similar materials may not be dumped on site
- Changing oil on any equipment or vehicles is not permitted on site
- Alcohol and drugs are prohibited at all times on site
- Erosion control is the responsibility of the Builder during construction
- Builders are to ensure that sites are only accessed via the provided entries

11.0 DISCRETION

Notwithstanding anything set out in these guidelines, the Developer, Entity One Inc. and its Architectural Agent (E2 + Associates) may apply their respective judgments when considering and approving anything regulated or controlled by these guidelines. In so doing, the Developer and the Architectural Agent may provide waivers of or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

11.1 No Right to Enforce

Only the Developer may enforce the guidelines. No purchaser of a lot in Greystone may enforce these guidelines.

11.2 Right to Amend

The Developer may amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

11.3 No Trespassing

No person shall infringe upon, excavate, destroy, paint, fill in, cut, remove, or tamper with any lot in Greystone that is not their own. If done so the Developer has full right to take legal action for relief of any violation.

12.0 CONTACTS

Developer

Entity One Inc.
Suite 106, 155 Glendee Cir SE
Calgary, AB T2H 2S8

c/o General Development Services (GDS)
Josh Hagen jhagen@generaldevelopmentservices.com, or
Kendra Milne kmilne@generaldevelopmentservices.com

Architectural

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SCHEDULE A

Lot Codes and Special Requirements

Entity One Inc. Communities
Greystone Phase 1

Lot Codes and Special Requirements
Release Date Here

Lot Codes – House Sizes

Code	Minimum Bungalows/ Bi-levels	Minimum Split Levels/ Two Storeys	Code	Maximum
A	900 sq. ft.	1200 sq. ft.		N/A.
B	1000 sq. ft.	1400 sq. ft.		N/A.
C	1200 sq. ft.	1600 sq. ft.		N/A.
D	1300 sq. ft.	1800 sq. ft.		N/A.
E	1500 sq. ft.	2000 sq. ft.		N/A.
F	1500 sq. ft.	2200 sq. ft.		N/A.
G	1800 sq. ft.	2450 sq. ft.		N/A.
O			Duplex	N/A.
R			Row Housing	N/A.

- Bungalow and bi-level sizes include main level only; no lower-level development is to be included in the total area.
- Split level sizes are to include finished floor area above grade only. If 3rd level is below grade, above grade levels must exceed minimum bungalow/bi-level requirements.
- Although the lot codes are expected to be maintained in all areas the Architectural Agent is permitted discretion to approve or reject any home, which may or may not meet the size requirements, based on utilization of the lot and massing of the home.

Special Requirements

Code	Requirement
(width)	Minimum house width in feet/does not include jogs in garage, porches.
1.	High exposure rear elevation
2.	Low exposure rear elevation
3.	High exposure corner lot.
4.	Low exposure corner lot
5.	Front drive garage required.
6.	Rear garages only permitted.
7.	Exterior Deck required
*	Denotes that the maximum house size applies

Examples

A (22)	minimum 900/1200 sq. ft., maximum 1600 sq. ft., minimum 22' wide.
C (24) 5,7	min. 1200/1600 sq. ft., min 24' wide, front drive garage required, rear deck required.
D (34) 1,4,5	min. 1300/1800 sq. ft., max. 2200 sq. ft., min 34' wide, double front drive garage required, architectural vinyl siding required, estate masonry standards.

**Greystone Phase 1
Lot Codes & Special Requirements
May 2022**

Block	Lot	Land Use	FF	Lot Codes
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