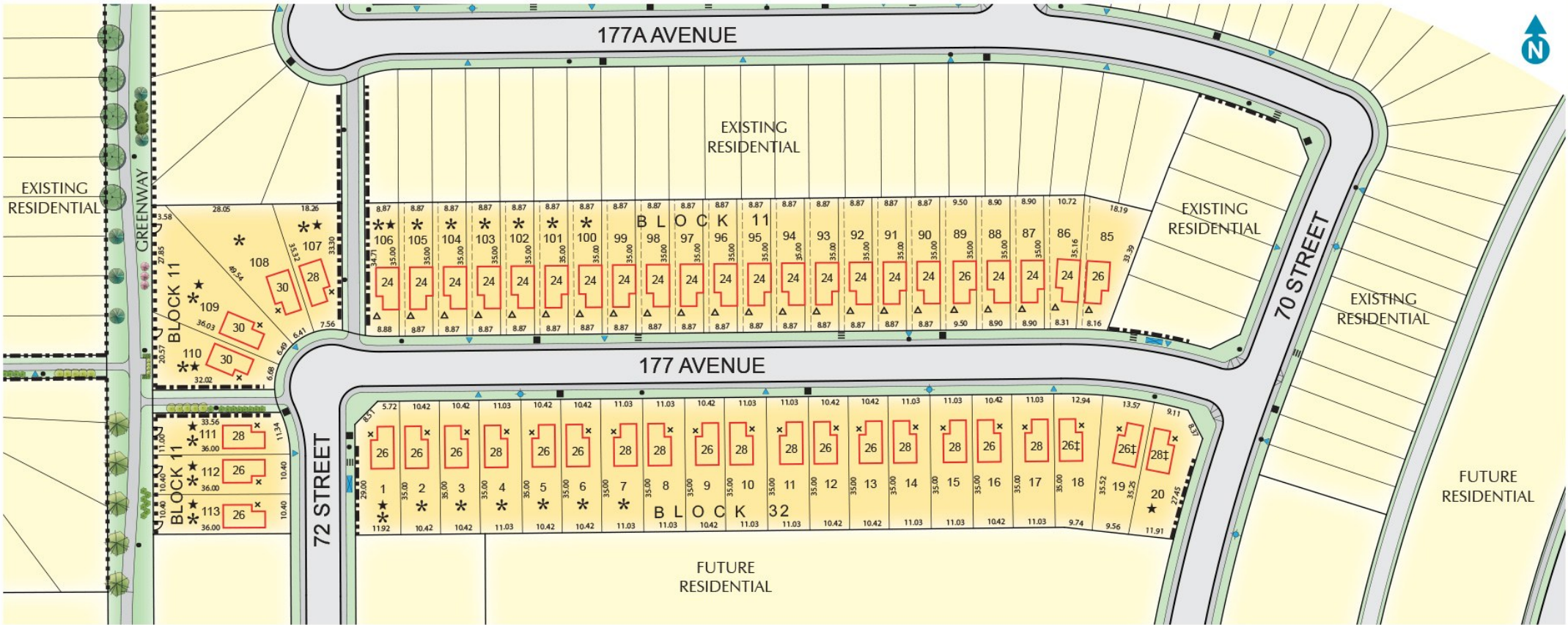


STAGE 22B

PRELIMINARY
Subject To Change



CRYSTALLINA
NERA



LEGEND

- ▬ PADMOUNT TRANSFORMER
- SWITCHING CUBICLE
- STREET LIGHT / POWER BASE
- ▲ SERVICE PEDESTAL
- UTILITY VAULT
- ◆ HYDRANT
- COMMUNITY MAILBOX
- SIDEWALK

- 26 → RECOMMENDED HOUSE WIDTH (IN FEET AT 12 METER SETBACK) SEE BUILDING POCKET FOR DETAILS
- ATTACHED GARAGE LOCATION (SUBJECT TO CHANGE)
- 1.5 m PRIVATE MAINTENANCE EASEMENT FOR ABUTTING ZERO SETBACK LOT (SEE NOTE 9)
- STEP DOWN WOOD SCREEN FENCE ON PRIVATE PROPERTY
- BLACK CHAINLINK FENCE WITH GATES ON PRIVATE PROPERTY (RESTRICTIVE COVENANT)
- ★ ADDITIONAL EXTERIOR FLANKAGE OR REAR DETAIL REQUIRED

- ▲ STORM SERVICE (ROOF LEADER AND SUMP) REQUIRED BY BUILDERS (CITY REQUIREMENT)
- × FOUNDATION DRAIN SERVICE (SUMP ONLY) REQUIRED BY BUILDERS (CITY REQUIREMENT)
- † REVERSE PIE LOT. HOUSE WIDTH MAY BE REDUCED FOR HOUSES LONGER THAN 15 m. SEE BUILDING POCKET PLAN.
- ★ MINIMUM FOOTING ELEVATION TO BE OBTAINED FROM PALS GEOMATICS (780 455 3177). ADDITIONAL RISER MAY BE REQUIRED

Notes:

- All information shown on this plan is deemed accurate to the date shown. Landscape shown conceptual only.
- Details are subject to change.
- Location of street furniture and shallow utilities subject to change. Genstar will not relocate conflicts.
- Bungalows and 2 storeys require window wells.
- Wood fencing colour to be Monterey Grey.
- Surveyors - building pocket supersedes marketing map.
- Retaining walls, if required, installed at purchaser's cost.
- Geotechnical investigation required at footing excavation by J.R. Paine (780 489-0700) on all lots.
- Lots 85 thru 105, Block 11 have a 1.5 m private maintenance easement (eaves, footing, drainage and access) for the abutting lot with a zero setback.

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Legal Plan Number: 222
July 20, 2022

STAGE 27

PRELIMINARY
Subject To Change



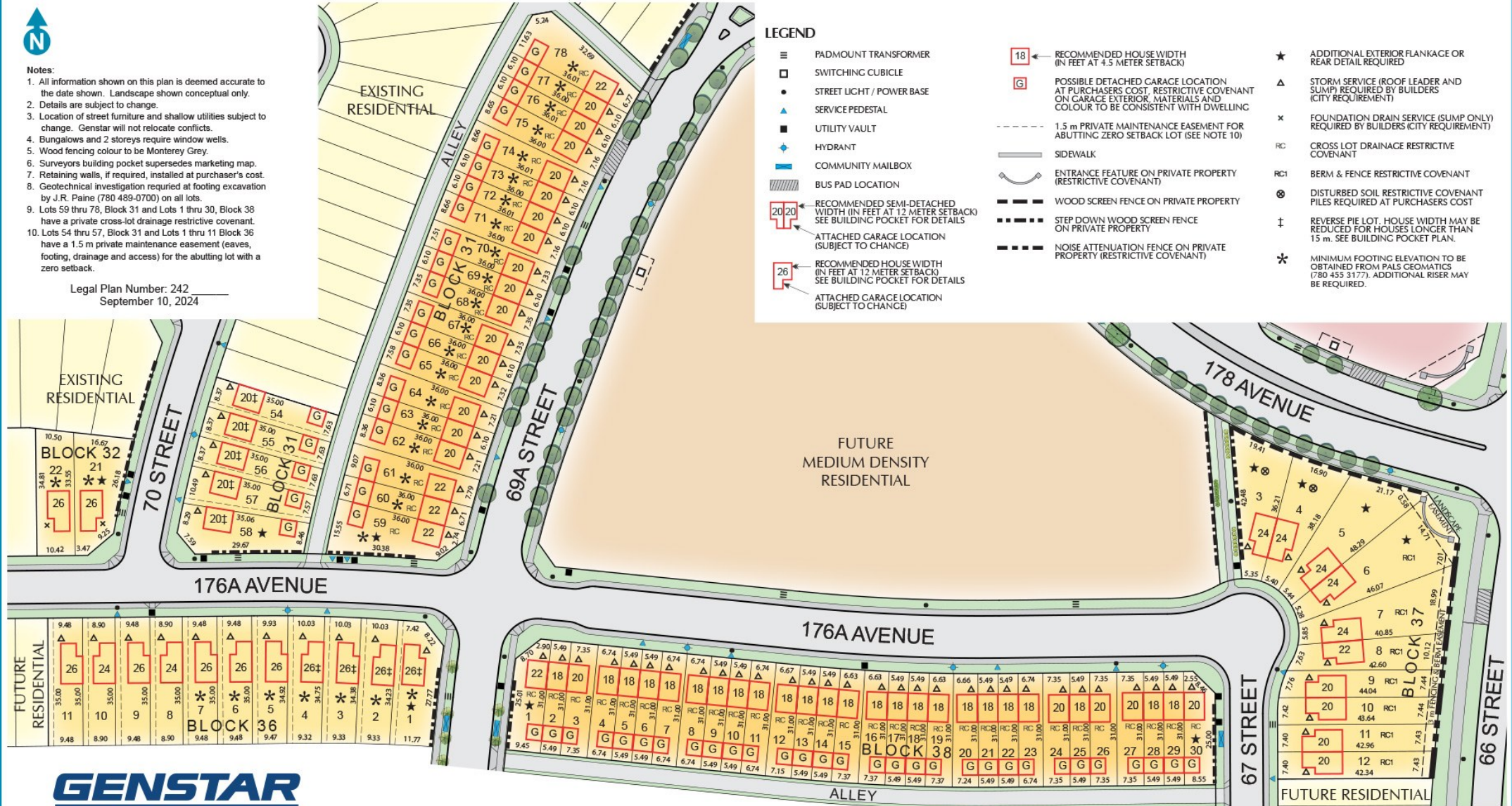
CRYSTALLINA
NERA



Notes:

1. All information shown on this plan is deemed accurate to the date shown. Landscape shown conceptual only.
2. Details are subject to change.
3. Location of street furniture and shallow utilities subject to change. Genstar will not relocate conflicts.
4. Bungalows and 2 storeys require window wells.
5. Wood fencing colour to be Monterey Grey.
6. Surveyors building pocket supercedes marketing map.
7. Retaining walls, if required, installed at purchaser's cost.
8. Geotechnical investigation required at footing excavation by J.R. Paine (780 489-0700) on all lots.
9. Lots 59 thru 78, Block 31 and Lots 1 thru 30, Block 38 have a private cross-lot drainage restrictive covenant.
10. Lots 54 thru 57, Block 31 and Lots 1 thru 11 Block 36 have a 1.5 m private maintenance easement (eaves, footing, drainage and access) for the abutting lot with a zero setback.

Legal Plan Number: 242
September 10, 2024



LEGEND

- PADMOUNT TRANSFORMER
- SWITCHING CUBICLE
- STREET LIGHT / POWER BASE
- SERVICE PEDESTAL
- UTILITY VAULT
- HYDRANT
- COMMUNITY MAILBOX
- BUS PAD LOCATION
- RECOMMENDED SEMI-DETACHED WIDTH (IN FEET AT 12 METER SETBACK) SEE BUILDING POCKET FOR DETAILS
- ATTACHED GARAGE LOCATION (SUBJECT TO CHANGE)
- RECOMMENDED HOUSE WIDTH (IN FEET AT 4.5 METER SETBACK)
- POSSIBLE DETACHED GARAGE LOCATION AT PURCHASERS COST, RESTRICTIVE COVENANT ON GARAGE EXTERIOR, MATERIALS AND COLOUR TO BE CONSISTENT WITH DWELLING
- 1.5 m PRIVATE MAINTENANCE EASEMENT FOR ABUTTING ZERO SETBACK LOT (SEE NOTE 10)
- SIDEWALK
- ENTRANCE FEATURE ON PRIVATE PROPERTY (RESTRICTIVE COVENANT)
- WOOD SCREEN FENCE ON PRIVATE PROPERTY
- STEP DOWN WOOD SCREEN FENCE ON PRIVATE PROPERTY
- NOISE ATTENUATION FENCE ON PRIVATE PROPERTY (RESTRICTIVE COVENANT)
- ADDITIONAL EXTERIOR FLANKAGE OR REAR DETAIL REQUIRED
- STORM SERVICE (ROOF LEADER AND SUMP) REQUIRED BY BUILDERS (CITY REQUIREMENT)
- FOUNDATION DRAIN SERVICE (SUMP ONLY) REQUIRED BY BUILDERS (CITY REQUIREMENT)
- CROSS LOT DRAINAGE RESTRICTIVE COVENANT
- BERM & FENCE RESTRICTIVE COVENANT
- DISTURBED SOIL RESTRICTIVE COVENANT PILES REQUIRED AT PURCHASERS COST
- REVERSE PIE LOT. HOUSE WIDTH MAY BE REDUCED FOR HOUSES LONGER THAN 15 m. SEE BUILDING POCKET PLAN.
- MINIMUM FOOTING ELEVATION TO BE OBTAINED FROM PALS GEOMATICS (780 435 3177). ADDITIONAL RISER MAY BE REQUIRED.

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