

Municipal Development Plan

716/13



The Town of
Elk Point



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BYLAW NO. 716/13 – MUNICIPAL DEVELOPMENT PLAN

Pursuant to the Municipal Government Act, R.S.A. 2000, as amended, the Council of the Town of Elk Point duly assembled, hereby enacts as follows:

PART ONE: BACKGROUND AND PURPOSE**SECTION 1.1: BACKGROUND**

1. The Municipal Government Act states that municipalities with a population of 3,500 or less may prepare and adopt a municipal development plan (MDP).
2. The overall purpose of the Elk Point Municipal Development Plan (MDP) is to guide future growth and development to ensure that it is sustainable, orderly, appropriate, complementary, efficient, and that it enhances the quality of life for the citizens of Elk Point.
3. The MDP is primarily a policy document that can be utilized as a framework which both public and private sector decision making can occur. As a policy document it is, for the most part, general in nature and long range in its outlook. The MDP provides the means whereby Council can evaluate immediate situations or proposals in the context of a long range plan for Elk Point.

SECTION 1.2: GOALS AND POLICIES

1. The goals and policies of the MDP apply to land within the Town boundary, and are intended to:
 - a) Identify major current and potential constraints, issues and opportunities respecting development in the community;
 - b) Be consistent with Provincial Land Use Policy;
 - c) Identify how the Town can move towards achieving its goals; and
 - d) Guide the orderly and systematic physical growth of the community.

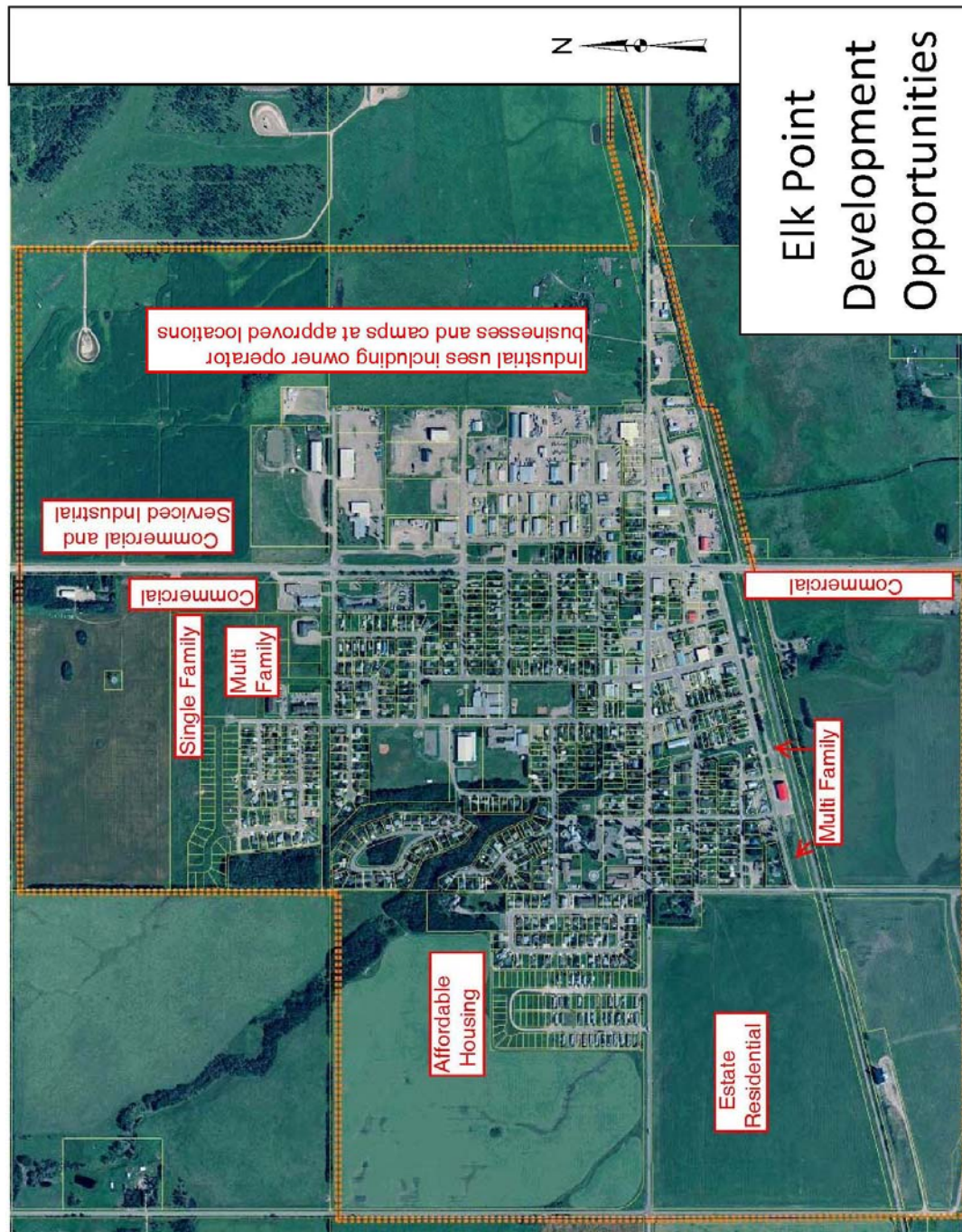
PART TWO: SETTING THE STAGE FOR GROWTH**SECTION 2.1: GOALS OF THE MDP**

The following generalized planning goals have been adopted by the Town of Elk Point to direct future community growth.

1. To establish an appropriate land use development strategy that provides for efficient transportation and utility servicing systems, promotes compatible land uses and encourages orderly development.
2. To strengthen Elk Point's economic base by providing opportunities for business and industry.

3. To provide a guide for all planning documents
4. Ensure the orderly, complementary, contiguous, and efficient development of the physical environment within Elk Point.
5. To identify future growth needs and directions for Elk Point and identify mechanisms which ensure that there is sufficient developable land within the municipality.

SECTION 2.2: DEVELOPMENT OPPORTUNITIES



PART THREE: RESIDENTIAL DEVELOPMENT**SECTION 3.1: GOALS AND POLICIES**

1. To ensure the provision of a variety of housing types throughout the community to satisfy the accommodation needs of all age, income and social groups.
 - ⇒ Section 2.2 Development Opportunities Map identifies potential future residential areas which endeavour to provide appropriate sites for residential development in various forms to meet demand.
2. To ensure that there is an adequate supply of reasonably priced land for future residential development in Town.
 - ⇒ Maintain land banking practices as long as perceived necessary, and ensure that land sold from the Town's land bank program is marketed at reasonable prices.
3. To provide an appropriate level of development standards and servicing requirements for residential development.
 - ⇒ Innovative methods to reduce servicing costs shall be considered; and utility services for new residential subdivision developments shall be installed underground.
4. To promote compatible development infilling.
 - ⇒ Development of secondary suites such as boarding houses, basement suites and garage suites shall be allowed within the Single Detached Residential (R1) and the Medium Density Residential (R2) District of the Land Use Bylaw.
5. To encourage the development of rental apartments within the community.
 - ⇒ The Town shall endeavour to identify lands for apartment development.

PART FOUR: COMMERCIAL DEVELOPMENT

SECTION 4.1: GOALS AND POLICIES

1. To maintain an appropriate supply level of land designated for future commercial development throughout the community to accommodate a variety of commercial land uses.
 - ⇒ Section 2.2 Development Opportunities Map identifies potential and future commercial areas.
2. To promote the development of commercial areas with attractive appearances, good accessibility and high quality design and layout.
 - ⇒ The Town will adopt and implement “gateway design guidelines” for developments fronting onto Highway 41.
3. To promote and encourage the provision of a full range of goods and services for the citizens of Elk Point.
 - ⇒ Home based businesses will be allowed as permitted uses in all residential districts provided they are secondary to the residential use and do not detract from the amenities of the surrounding residential neighbourhood. Specific standards and requirements will be governed by the Land Use Bylaw.
4. To assist with businesses seeking to develop retail businesses along the highway.
 - ⇒ The Town will encourage the highway commercial development along Highway 41 within the Town boundaries. The Town will work closely with Alberta Transportation to insure that any future access or activity adjacent to Highway 41 is constructed to Alberta Transportation’s standards.
5. To support continued development of the downtown area and ensure that it remains the primary centre for commercial activities.
 - ⇒ Support initiatives to beautify the downtown area in conjunction with local businesses and community organizations. Support infill opportunities as they arise.

PART FIVE: INDUSTRIAL DEVELOPMENT**SECTION 5.1: GOALS AND POLICIES**

1. To ensure the provision of a variety of industrial uses throughout the community to satisfy the needs of industry.
 - ⇒ Section 2.2 Development Opportunities Map identifies potential future industrial areas.
2. To maintain and adequate supply of serviced industrial land.
 - ⇒ Endeavour to sell publicly controlled industrial land at a reasonable price, not less than development costs, in order to encourage concurrent private industrial land development.
3. To provide development opportunities for industrial uses, which, according to their nature, do not require fully serviced sites.
 - ⇒ Provide for the development of un-serviced industrial sites on land that is considered by Council as too isolated and difficult to service for future industrial use.
4. To encourage small business industrial development.
 - ⇒ To provide for an owner operator residential district within the land use bylaw, allowing a residential dwelling and shop to be allowed on the same parcel.
5. To minimize potential land use conflicts for new industrial development.
 - ⇒ The Town may require an independent environmental impact assessment (EIA) to be completed before permitting an industrial use that is perceived to potentially cause future environmental problems.

PART SIX: RECREATIONAL AND INSTITUTIONAL DEVELOPMENT**SECTION 6.1: GOALS AND POLICIES**

1. To locate parks and recreational areas within residential neighbourhoods.
 - ⇒ Pursuant to the provisions of the Municipal Government Act, require that all proposed residential subdivisions to dedicate 10% of their land for municipal reserves to be used as park land. Dedicated land will be taken upon subdivision approval or deferred in accordance with the Act when the specific phase of a subdivision does not include the area to be the municipal reserve dedication. Pursuant to the Act, require that all proposed non-residential subdivisions to provide money in place of municipal reserves.
2. To encourage the development of trails within the Town.
 - ⇒ Future subdivision designs should incorporate pedestrian linkages between residential, recreational and institutional uses.

PART SEVEN: TRANSPORTATION AND UTILITIES

SECTION 7.1: GOALS AND POLICIES

1. To promote the development of an integrated transportation system for the safe and efficient movement of vehicles within and through the Town.

⇒ Require the provision of a roadway network in all new developments consisting of arterial, collector and local roads. The functional characteristics of these roads are shown on Table 1.

Road Type	Minimum Right-of-Way	General Purpose	Functional Characteristics
Local	20 m (66 ft)	For relatively light traffic volumes linking to collector system.	Discourage intersection of local roads with arterial roads. All properties have direct access to roadway. Truck traffic is not permitted on local roads.
Collector	24 m (80 ft)	For moderate traffic volumes between local roads and arterial roads.	No access restrictions for properties. Must be designed to accommodate truck traffic.
Arterial	30 m (100 ft)	For heavy traffic volumes. Links major generation and destination points.	Direct access to adjacent properties is discouraged, especially low to medium density residential uses.

2. To enhance the traffic function of Highway 41.

⇒ Require all new commercial and industrial developments adjacent to Highway 41 to have access onto a side street or a service road rather than the highway.

3. To ensure that adequate levels of municipal infrastructure services are provided to existing developed areas and future expansion areas of the community.

⇒ Regularly evaluate the adequacy in terms of service delivery capacities, the following utility systems: supply, storage and treatment of water; collection and treatment of sewage; and stormwater management.

4. To accommodate for the staged servicing of future subdivisions.

⇒ New development shall be required to be serviced by all municipal utilities to a standard satisfactory to the Town. The Town may accept industrial and commercial development on large parcels of land not serviced by municipal utilities, subject to entering into a deferred servicing agreement to the satisfaction of the Town.

PART EIGHT: ENVIRONMENT AND AGRICULTURE**SECTION 8.1: GOALS AND POLICIES**

1. To encourage the reclamation of contaminated sites.
 - ⇒ Council shall require satisfactory reclamation of environmentally contaminated sites prior to development. Council or the Development Officer may request an Environmental Audit or Assessment be performed on any site proposed for development, but particularly on all past commercial or industrial sites proposed for new development.
2. Endeavour to address the impact of oil and gas facilities on future land uses.
 - ⇒ Ensure resource operations are located appropriately and take place in a manner that maintains environmental quality of adjacent areas and prevents permanent damage to the landscape or loss of other environmental features.
3. To allow existing farm operations within the Town limits to be maintained until such time as they are developed for other uses.
 - ⇒ Areas designated as “UR” – Urban Reserve District in the Land Use Bylaw may include agricultural industries, greenhouse or plant nurseries. Such developments shall be sited and developed with consideration of adjacent and surrounding land uses, in an attempt to minimize conflict. Confined feeding operations shall not be located within the Town of Elk Point.
4. Legislating FireSmart requirements for structural materials and infrastructure within the municipality.
 - ⇒ The Town shall implement FireSmart policy within its Land Use Bylaw with respect to structural materials and infrastructure.
5. To protect and preserve, whenever possible, existing natural areas.
 - ⇒ The Town will not permit development in areas prone to flooding. The Town will utilize environmental reserve and environmental conservation easements as mechanisms to protect environmentally significant areas. Through the subdivision process, the Town shall require that lands considered unsuitable for development area dedicated as environmental reserve with the provisions of the MGA. When lands adjacent to water bodies or water courses are subdivided, a strip of land shall be dedicated as environmental reserve to provide a buffer and provide public access. The width of the required dedication shall be established by the Subdivision Authority. Lands dedicated as environmental reserve shall remain in their natural state and/or be used as part of the public trail system where necessary to ensure a continuous integrated trail system.

PART NINE: INTER-MUNICIPAL COOPERATION**SECTION 9.1: GOALS**

1. To undertake cooperative planning with the County of St. Paul No. 19.
 - ⇒ The Town will continue to support the Inter-municipal Development Plan to address issues of mutual concern and to ensure that the development in either municipality complements the existing and future land uses of the other municipality.
2. To coordinate land use policies for the boundary areas which are mutually beneficial to both the Town and County.
 - ⇒ The Town will endeavour to ensure that development adjacent to Highway 41 meet prescribed exterior design requirements for commercial and industrial buildings, through its Land Use Bylaw and as prescribed within the Elk Point Inter-municipal Development Plan.
3. To coordinate the provision of roads, facilities, and other services that serve residents of both municipalities.
 - ⇒ The Town will discourage, whenever possible, development or uses that may have a negative impact on adjacent uses in the County.

PART TEN: ADMINISTRATIVE MATTERS**SECTION 10.1: INTERPRETATION**

1. The MDP is, for the most part, general in nature and long range in its outlook. The MDP provides the means whereby Council and Town staff can evaluate immediate situations or proposals in the context of a long range plan for Elk Point. In this regard, the boundary between the land uses shown on Map 1 is not to be rigidly interpreted and the specific boundaries shall be determined through the designation of the Land Use Bylaw Districts.
2. Subject to Council's approval, minor variations from the policies of the MDP will not require an amendment to the MDP. More substantive changes will require an amendment to the MDP and any other affected plan.
3. The MDP contains "shall", "should", and "may" policies which are interpreted as follows:
 - a) "Shall" policies must be complied with,
 - b) "Should" policies mean compliance in principle, but is subject to the discretion of the applicable authority on a case by case basis, and
 - c) "May" policies indicate that the applicable authority determines the level of compliance that is required.

SECTION 10.2: IMPLEMENTATION

1. The goals and policies of the MDP will be further refined and implemented through the development, adoption, and day to day application of statutory plans (area structure plans and area redevelopment plans), non statutory plans (outline plans, design schemes, etc.) and the Land Use Bylaw.

SECTION 10.3: AMENDMENT

1. Amendment of the MDP must follow the appropriate procedures as outlined in the *Municipal Government Act*.
2. All statutory and non-statutory plans shall be consistent with the MDP and may require amendment to ensure their compliance with the MDP.

SECTION 10.4: REVIEW

1. In order to ensure that the MDP is current, the entire plan should be reviewed approximately every three years, preferably soon after the municipal election.

SECTION 10.5: REPEALING EXISTING BYLAW

1. Bylaw 615/02, as amended, is hereby repealed.

SECTION 10.6: DATE OF COMMENCEMENT

1. This Bylaw comes into effect upon the date of it finally being passed.

READ A FIRST TIME IN COUNCIL THIS 14th DAY OF JANUARY, A.D. 2013

"Parrish Tung"
Mayor

"Myron Goyan"
Town Manager

READ A SECOND TIME IN COUNCIL THIS 25^h DAY OF MARCH, A.D. 2013

"Parrish Tung"
Mayor

"Myron Goyan"
Town Manager

READ A THIRD TIME IN COUNCIL THIS 25th DAY OF MARCH, A.D. 2013

"Parrish Tung"

"Myron Goyan"